

Building Data Summary	
Project ID:	Residential Building A & B
Location:	801 & 803 Boston Post Rd, Milford, CT
Scope of Work:	Masonry
Date:	

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost	
DIVISION.01 GENERAL REQUIREMENTS															
1		Supervision and Coordination	LS	1											
2		Submittals and Shop drawings	LS	1											
3		Final Cleaning	LS	1											
4		Mobilization Costs	LS	1											
5		Temporary Control & Facilities	LS	1											
Subtotal (General Requirements)														\$	-
DIVISION 04- Masonry															
		Building A													
		Wall													
6		8" Cmu Wall #5 Vert.Bar @ 32" O.C (30'H,108 LF)	SF	3240	5%	3402	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
7		Grout	CY	37	5%	39	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
8		Reinforcement	Lbs.	1314	5%	1380	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
9		8" Solid Grout Cmu Wall #5 Vert.Bar @ 32" O.C (34'H,22 LF)	SF	748	5%	785	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
10		Grout	CY	9	5%	9	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
11		Reinforcement	Lbs.	355	5%	373	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
12		8" Solid Grout Cmu Wall #5 Vert.Bar @ 32" O.C (14'H,4 LF)	SF	56	5%	59	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
13		Grout	CY	1	5%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
14		Reinforcement	Lbs.	44	5%	46	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
15		8" Cmu Lintel 2#5 Cont. Bar	LF	24	5%	25	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
16		Reinforcement	Lbs.	50	5%	53	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
17		8" Cmu Lintel 2#6 Cont. Bar Top & Bott	LF	22	5%	23	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
18		Reinforcement	Lbs.	132	5%	139	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
19		8" Bond Beam 2#6 Cont. Bar	LF	105	5%	110	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
20		Reinforcement	Lbs.	315	5%	331	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
21		Exterior													
22		Stone Veneer	SF	2160	5%	2268	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
23		Soldier Course	LF	320	5%	336	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
24		Stone Veneer Cap	LF	30	5%	32	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
25		Building B													
26		Wall													
27		8" Cmu Wall #5 Vert.Bar @ 32" O.C (30'H,133 LF)	SF	3990	5%	4190	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
28		Grout	CY	45	5%	47	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
29		Reinforcement	Lbs.	1596	5%	1676	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
30		8" Solid Grout Cmu Wall #5 Vert.Bar @ 32" O.C (34'H,22 LF)	SF	748	5%	785	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
31		Grout	CY	9	5%	9	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
32		Reinforcement	Lbs.	355	5%	373	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
33		8" Solid Grout Cmu Wall #5 Vert.Bar @ 32" O.C (14'H,4 LF)	SF	56	5%	59	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
34		Grout	CY	1	5%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
35		Reinforcement	Lbs.	44	5%	46	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
36		8" Cmu Lintel 2#5 Cont. Bar	LF	27	5%	28	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
37		Reinforcement	Lbs.	56	5%	59	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
38		8" Cmu Lintel 2#6 Cont. Bar Top & Bott	LF	13	5%	14	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
39		Reinforcement	Lbs.	78	5%	82	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
40		8" Bond Beam 2#6 Cont. Bar	LF	105	5%	110	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
41		Reinforcement	Lbs.	315	5%	331	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
42		Exterior													
43		Full Brick Veneer	SF	2340	5%	2457	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
44		Soldier Course	LF	410	5%	431	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
45		Brick Sill	LF	70	5%	74	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -		
Subtotal								\$ -			\$ -			\$ -	
													PROJECTED COST	\$ -	
													INSURANCE	0%	\$ -
													CONTINGENCY	0%	\$ -
													OVERHEAD AND PROFIT	0%	\$ -
													TAX	0.00%	\$ -
													SUGGESTED BID	\$ -	

s1

Soldier Course

Stone Veneer Cap

560.0 SQ FT

56.3 FT

23.5 FT

EXTERIOR FINISH LEGEND	
	STONE VENEER AND SOLDIER COURSE. STYLE AND COLOR AS SELECTED BY OWNER.
	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANTAGE SOLUTION.
	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYPON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
	BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
	ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
	ARCHITECTURAL METAL GUARD RAIL. BLACK POWDER COATED.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	

REVISED

No.	DATE
1	

SUBMITTED

No.	DATE
1	5-15-2026 Foundation Permit
2	6-9-2026 Building Permit



All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Consultant as instruments of service shall remain the property of the Consultant. The Consultant shall retain all reserved rights, statutory and other, without limitation the copyright therein.

Building

A

DATE	06/05
DATE	06/05
SCALE	AS SHOWN
DRAWN	TCS
CHECKED	JAW
DATE	05/20/26

Multi-Family Residential

801 Boston Post Road

Milford, Connecticut

Project for: Milford Commons

41 Cherry Street, Milford, CT 06460

PARTIAL FRONT ELEVATION

JOHN A. WICKO

ARCHITECT

L.L.C.

8 PROSPECT STREET, MILFORD, CT 06460 (203) 874-0208

A4.1







s1



Soldier Course

170.8 SQ FT

26.3 FT

EXTERIOR FINISH LEGEND	
	STONE VENEER AND SOLDIER COURSE. STYLE AND COLOR AS SELECTED BY OWNER.
	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANCING SOLUTION.
	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYRON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
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Building

A

DATE	06/05
DATE	06/05
SCALE	AS SHOWN
DRAWN	TCS
CHECKED	JAW
DATE	06/05

Multi-Family Residential

801 Boston Post Road

Milford, Connecticut

Prepared for: Milford, CT

41 Cherry Street, Milford, CT 06460

LEFT SIDE ELEVATION

JOHN A. WICKO

ARCHITECT

L.L.C.

9 PROSPECT STREET, MILFORD, CT 06460 (203) 874-0208

A4.3





s1



Soldier Course

519.3 SQ FT

74.3 FT

EXTERIOR FINISH LEGEND	
	STONE VENEER AND SOLDIER COURSE. STYLE AND COLOR AS SELECTED BY OWNER.
	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANCING SOLUTION.
	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYRON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
	BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
	ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
	ARCHITECTURAL METAL GUARD RAIL. BLACK POWDER COATED.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	

REVISED

No.	DATE
1	

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Building

A

DATE	SCALE	DRAWN	CHECKED	DATE
06/05	AS SHOWN	TCS	JAW	06/05

Multi-Family Residential
801 Boston Post Road
Milford, Connecticut
Proposed for: Milford Housing
41 Cherry Street, Milford, CT 06460

PARTIAL REAR ELEVATION

JOHN A. WICKO
ARCHITECT
L.L.C.
98 PRINCETON STREET, MILFORD, CT 06460 (203) 874-0208

A4.4



s1
Soldier Course

320.3 SQ FT
74.7 FT

EXTERIOR FINISH LEGEND

- S1 STONE VENEER AND SOLDIER COURSE. STYLE AND COLOR AS SELECTED BY OWNER.
- S2 CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
- S3 CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANTAGE SOLUTION.
- S4 SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYPON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
- S5 BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
- S6 ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
- S7 GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
- S8 ARCHITECTURAL METAL GUARD RAIL. BLACK POWDER COATED.

NOTES

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.

REVISED

No.	DATE
1	

SUBMITTED

No.	DATE
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Building
A

DATE	06/15
SCALE	AS SHOWN
DRAWN	TCS
CHECKED	JAW
DATE	06/15/2025

Multi-Family Residential
801 Boston Post Road
Milford, Connecticut 06460
Prepared for: Milford, CT
41 Cherry Street, Milford, CT 06460

PARTIAL REAR ELEVATION
JOHN A. WICKO
ARCHITECT
L.L.C.

80 PROJECT STREET, MILFORD, CT 06460 (203) 874-0208

A4.5





Soldier Course

112.5 SQ FT

19.3 FT

EXTERIOR FINISH LEGEND	
	STONE VENEER AND SOLDIER COURSE. STYLE AND COLOR AS SELECTED BY OWNER.
	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANTAGE SOLUTION.
	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYPON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
	BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
	ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
	ARCHITECTURAL METAL GUARD RAIL. BLACK POWDER COATED.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	



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No.	DATE
1	

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Building

A

Multi-Family Residential

801 Boston Post Road

Milford, Connecticut

Project No. 2024-001

RIGHT SIDE ELEVATION

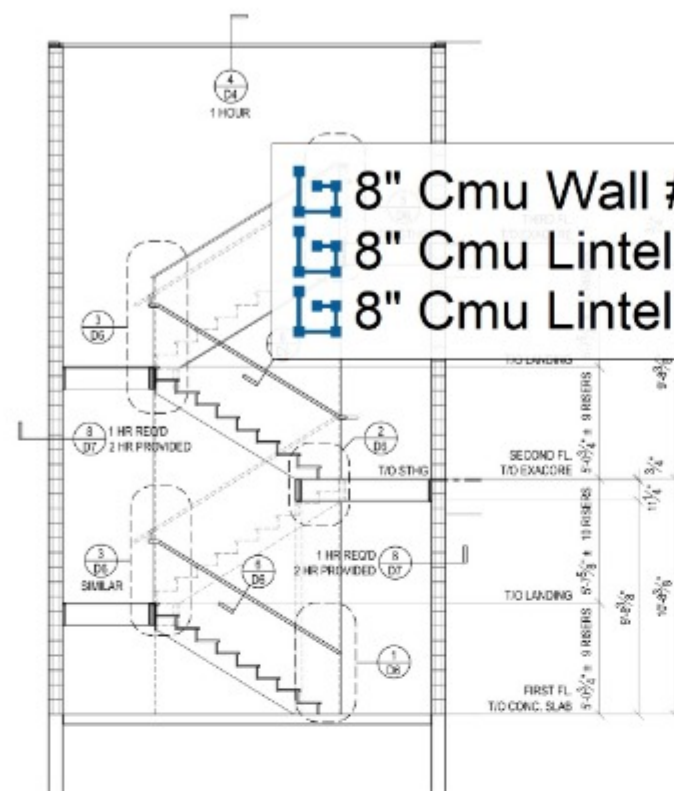
JOHN A. WICKO

ARCHITECT

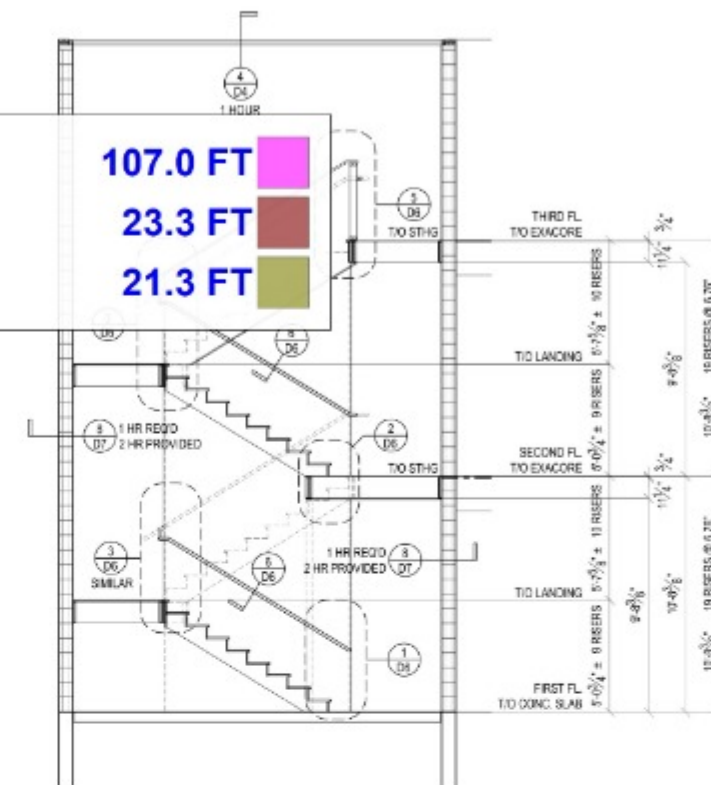
L.L.C.

8 PROSPECT STREET, MILFORD, CT 06460

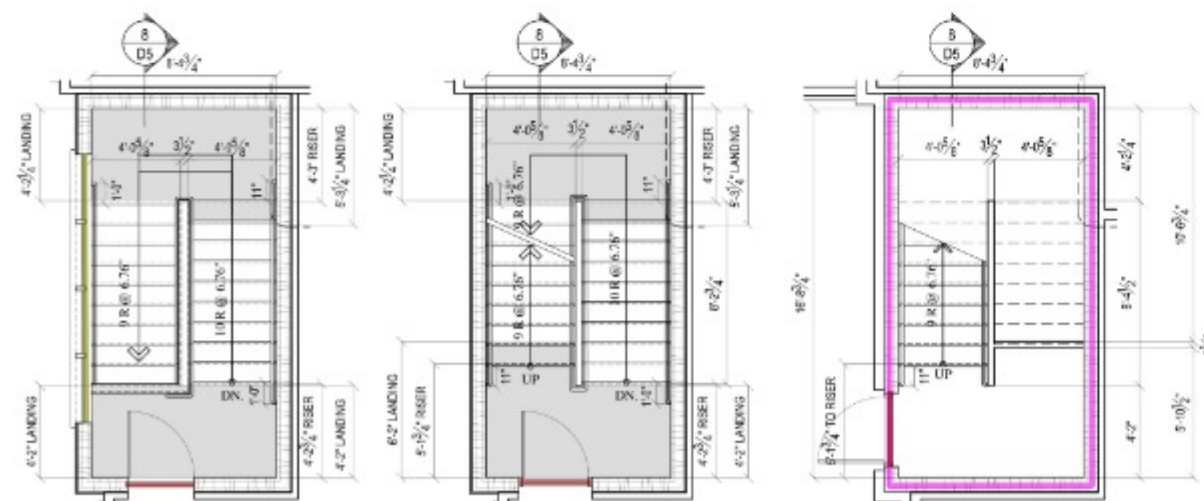
A4.6



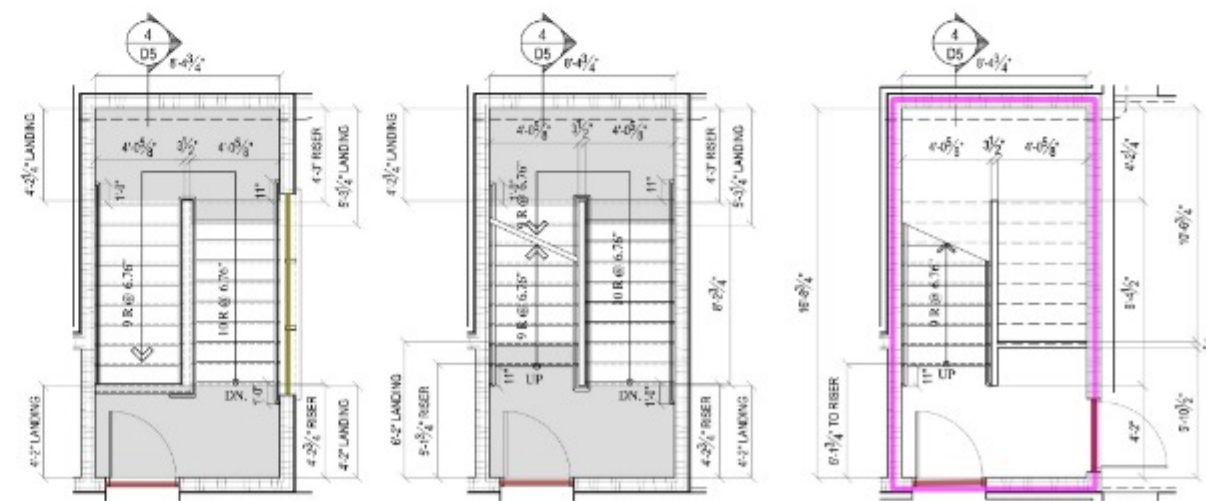
8 STAIR #2 SECTION
D5 SCALE: 1/4" = 1'-0"



4 STAIR #1 SECTION
D5 SCALE: 1/4" = 1'-0"



7 THIRD FLOOR STAIR #1 PLAN D5 SCALE: 1/4" = 1'-0"
6 SECOND FLOOR STAIR #1 PLAN D5 SCALE: 1/4" = 1'-0"
5 FIRST FLOOR - GRADE LEVEL STAIR #2 PLAN D5 SCALE: 1/4" = 1'-0"



3 THIRD FLOOR STAIR #1 PLAN D5 SCALE: 1/4" = 1'-0"
2 SECOND FLOOR STAIR #1 PLAN D5 SCALE: 1/4" = 1'-0"
1 FIRST FLOOR - GRADE LEVEL STAIR #1 PLAN D5 SCALE: 1/4" = 1'-0"

INTERIOR STAIRS - WOOD
HEAVY DUTY WOOD BOX STAIR
100 LBS/SF MINIMUM LIVE LOAD
FIELD VERIFY FLOOR TO FLOOR HEIGHT AND ENCLOSURE
DIMENSIONS DURING LAYOUT. 3" MAX RISER, 11" TREAD MIN.
PROVIDE CODE COMPLIANT STRUCTURAL STAIR SHOP
DRAWINGS FOR REVIEW AND CONSTRUCTION.

REVISED

No.	DATE
1	

SUBMITTED

No.	DATE
1	5-15-2026 Foundation Permit
2	6-9-2026 Building Permit



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Building A
D5

Multi-Family Residential
801 Boston Post Road
Milford, Connecticut
Proposed for: Mero Star Companies
41 Cherry Street, Milford, CT 06460
WOOD STAIR DETAILS
JOHN A. WICKO
ARCHITECT
L.L.C.
35 PROSPECT STREET, MILFORD, CT 06460 (203) 750-1200

D5



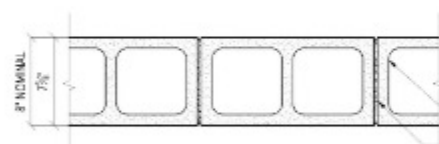
11 HOISTWAY BEAM BRACING DETAILS
SCALE: 1/2" = 1'-0"

10 STEEL LINTEL DETAIL
SCALE: 1/2" = 1'-0"

8" Cmu Wall #5 Vert.Bar @ 32" O.C 34'H
8" Cmu Wall #5 Vert.Bar @ 32" O.C 14'H
8" Bond Beam 2#6 Cont Bar x4
8" Bond Beam 2#6 Cont Bar x4

USG Fire-Resistant Assembly ARL SA926
UL Design UNIT 5 or U485
STC RATINGS - 33
ASSEMBLY RATING - 1.0 HOUR

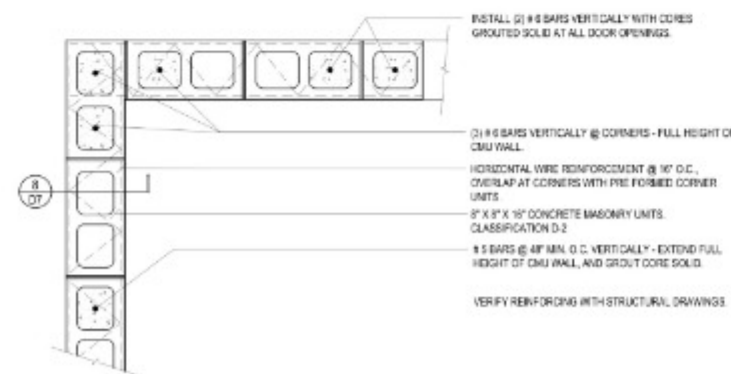
9 ONE HOUR RATED HORIZONTAL SHAFTWALL ASSEMBLY DETAIL
SCALE: 1/2" = 1'-0"



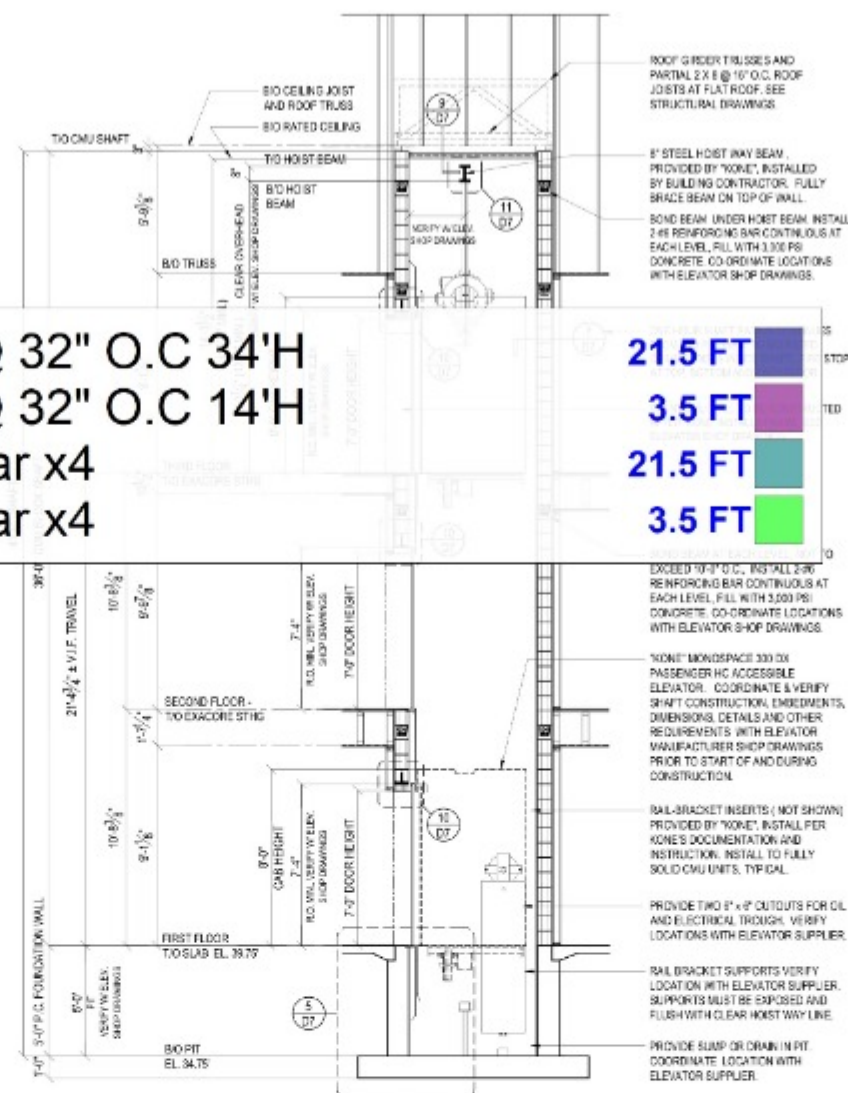
UL DESIGN NO. U906

BEARING WALL RATING - 2.0 HOUR (1 HOUR REQUIRED)
NON BEARING WALL RATING - 2.0 HOUR (1 HOUR REQUIRED)

8 RATED SHAFT WALL CONSTRUCTION
SCALE: 1/2" = 1'-0"

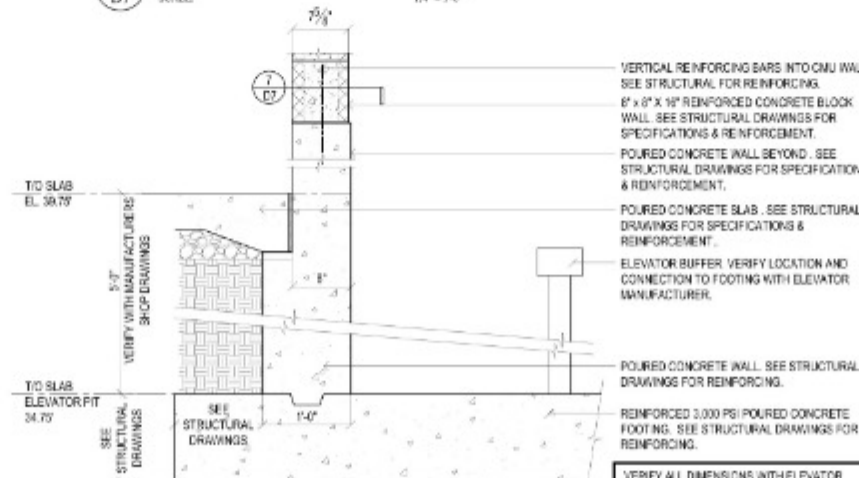


7 ELEVATOR SHAFT CONSTRUCTION
SCALE: 1" = 1'-0"

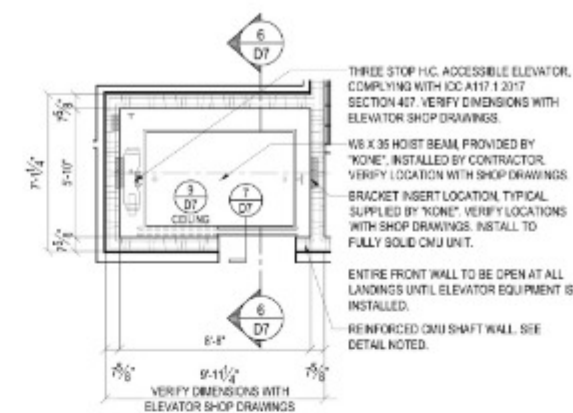


NOTE:
KONE MONOSPACE 300 DX
VERIFY ALL DIMENSIONS WITH ELEVATOR MANUFACTURER PRIOR TO WORK. PROVIDE SHOP DRAWINGS TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
COORDINATE & VERIFY SHAFT CONSTRUCTION, EMBEDMENTS, DIMENSIONS, DETAILS AND OTHER REQUIREMENTS WITH ELEVATOR MANUFACTURER SHOP DRAWINGS PRIOR TO START OF AND DURING CONSTRUCTION.
VERIFY ELECTRICAL, MECHANICAL AND FIRE ALARM REQUIREMENTS WITH ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION.

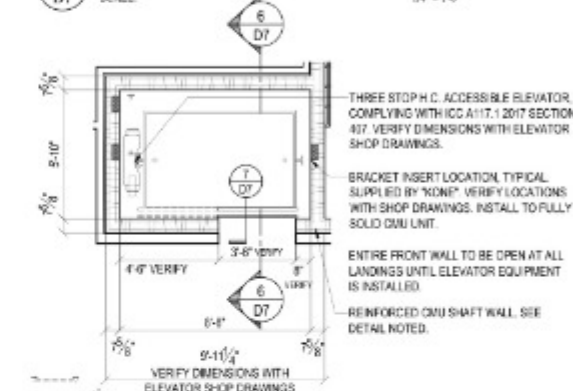
6 ELEVATOR SECTION
SCALE: 1/2" = 1'-0"



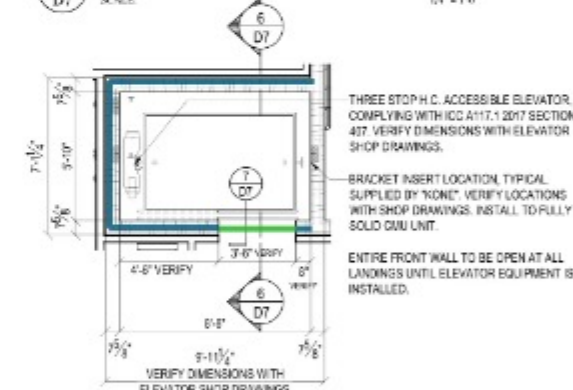
5 ELEVATOR PIT DETAIL
SCALE: 1" = 1'-0"



4 ELEVATOR SHAFT @ THIRD FLOOR
SCALE: 1/4" = 1'-0"



3 ELEVATOR SHAFT @ SECOND FLOOR
SCALE: 1/4" = 1'-0"



2 ELEVATOR SHAFT @ FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 ELEVATOR PIT
SCALE: 1/4" = 1'-0"

ELEVATOR SPECIFICATION
"KONE" MONOSPACE 300 DX PASSENGER HC ACCESSIBLE ELEVATOR. COORDINATE & VERIFY SHAFT CONSTRUCTION, EMBEDMENTS, DIMENSIONS, DETAILS AND OTHER REQUIREMENTS WITH ELEVATOR MANUFACTURER SHOP DRAWINGS PRIOR TO START OF AND DURING CONSTRUCTION. PROVIDE SHOP DRAWINGS TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.

REVISED

No.	DATE
1	-

SUBMITTED

No.	DATE
1	5-15-2026 Foundation Permit
2	6-9-2026 Building Permit



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Building
A

Multi-Family Residential
300 Boston Post Road
Milford, Connecticut 06460
Project No. 41 Chubb Street, Milford, CT 06460
ELEVATOR DETAILS
JOHN A. WICKS
ARCHITECT
L.L.C.
20 PROJECT STREET, MILFORD, CT 06460 (203) 876-0200

D7



REVISED											
No.	DATE										
1											
SUBMITTED											
No.	DATE										
1	5-15-2026 Foundation Permit										
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Building B	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">JOB</td> <td style="padding: 2px;">6675</td> </tr> <tr> <td style="padding: 2px;">DATE</td> <td style="padding: 2px;">9-13-2023</td> </tr> <tr> <td style="padding: 2px;">SCALE</td> <td style="padding: 2px;">AS SHOWN</td> </tr> <tr> <td style="padding: 2px;">DRAWN</td> <td style="padding: 2px;">JCS</td> </tr> <tr> <td style="padding: 2px;">CHECKED</td> <td style="padding: 2px;">JAE</td> </tr> </table>	JOB	6675	DATE	9-13-2023	SCALE	AS SHOWN	DRAWN	JCS	CHECKED	JAE
JOB	6675										
DATE	9-13-2023										
SCALE	AS SHOWN										
DRAWN	JCS										
CHECKED	JAE										
Multi-family Residential 803 Boston Post Road Milford, Connecticut 06460 <i>Prepared for:</i> Sham Star Companies 44 River Street, Milford, CT 06460	PARTIAL FRONT ELEVATION										
JOHN A. WICKO ARCHITECT L.L.C.											
90 PROJECT STREET, SUITE 200, CT 06460-2000											

S1

Brick Sill

Soldier Course

287.0 SQ FT

6.7 FT

35.2 FT

EXTERIOR FINISH LEGEND	
S1	FULL BRICK VENEER AND SOLDIER COURSE. GLEN GERY OR EQUAL MANUFACTURER. COLOR AS SELECTED BY OWNER.
S2	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
S3	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANCING SOLUTION.
S4	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYRON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
S5	BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
S6	ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
S7	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	

REVISED

No.	DATE
1	

SUBMITTED

No.	DATE
1	5-15-2026 Foundation Permit
2	6-9-2026 Building Permit



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Building

B

DATE	06/05
SCALE	AS SHOWN
DRAWN	TCS
CHECKED	JAW
DATE	06/05

Multi-family Residential
803 Boston Post Road
Milford, Connecticut 06460
Project for: 44 River St. 2nd, Milford, CT 06460

LEFT SIDE ELEVATION

JOHN A. WICKO
ARCHITECT
L.L.C.
80 PROSPECT STREET, MILFORD, CT 06460 (203) 874-0208

A4.3



1 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

S1

Soldier Course

Brick Sill

514.4 SQ FT

96.1 FT

12.6 FT

EXTERIOR FINISH LEGEND	
S1	FULL BRICK VENEER AND SOLDIER COURSE. GLEN GERY OR EQUAL MANUFACTURER. COLOR AS SELECTED BY OWNER.
S2	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
S3	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANCING SOLUTION.
S4	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYPON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
S5	BLACK COLOR CLAD EXTERIOR FINISH WINDOWS AND DOORS.
S6	ASPHALT ROOFING SHINGLES. GAF ARCHITECTURAL SERIES. CHARCOAL COLOR.
S7	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	

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CONNECTICUT STATE SEAL

Seal of the State of Connecticut

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Building B

DATE	SCALE	DRAWN	CHECKED	DATE
06/05	AS SHOWN	TCS	JAW	06/05

Multi-family Residential
803 Boston Post Road
Milford, Connecticut 06460
Prepared for: Milford Housing Authority
44 River St. 2nd Fl. Milford, CT 06460

PARTIAL REAR ELEVATION

JOHN A. WICKO
ARCHITECT
L.L.C.

58 PROJECT STREET, MILFORD, CT 06460 | 2024.07.02.08

A4.4



S1

Soldier Course

304.4 SQ FT

54.5 FT

EXTERIOR FINISH LEGEND	
S1	FULL BRICK VENEER AND SOLDIER COURSE. GLEN GERY OR EQUAL MANUFACTURER. COLOR AS SELECTED BY OWNER.
S2	CEMENTITIOUS CLAPBOARD SIDING. JAMES HARDIE MANUFACTURER. COLOR TO BE ARCTIC WHITE FACTORY APPLIED.
S3	CEDAR SHINGLE SIDING. NATURAL WOOD WITH AGING ADVANCING SOLUTION.
S4	SOLID PVC TRIM BOARDS, FASCIAS, SOFFITS, MOULDINGS, PANELS, AND SOLID PVC "PYRON" DECORATIVE CORBELS. COLOR TO BE BRIGHT WHITE.
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S7	GALVALUME STANDING SEAM METAL ROOFING. MANUFACTURER TO BE DETERMINED. COLOR SILVER GREY.
NOTES	
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS & DETAILS.	

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Building B

NO.	1625
DATE	8-17-2025
SCALE	AS SHOWN
DRAWN	JCS
CHECKED	JAW
DATE	8-19-2025

Multi-Family Residential

803 Boston Post Road

Milford, Connecticut 06460

Project for: 44 River St. 2ND, Milford, CT 06460

RIGHT SIDE ELEVATION

JOHN A. WICKO ARCHITECT L.L.C.

58 PRINCE STREET, MILFORD, CT 06460 (203) 874-0208

A4.6





1

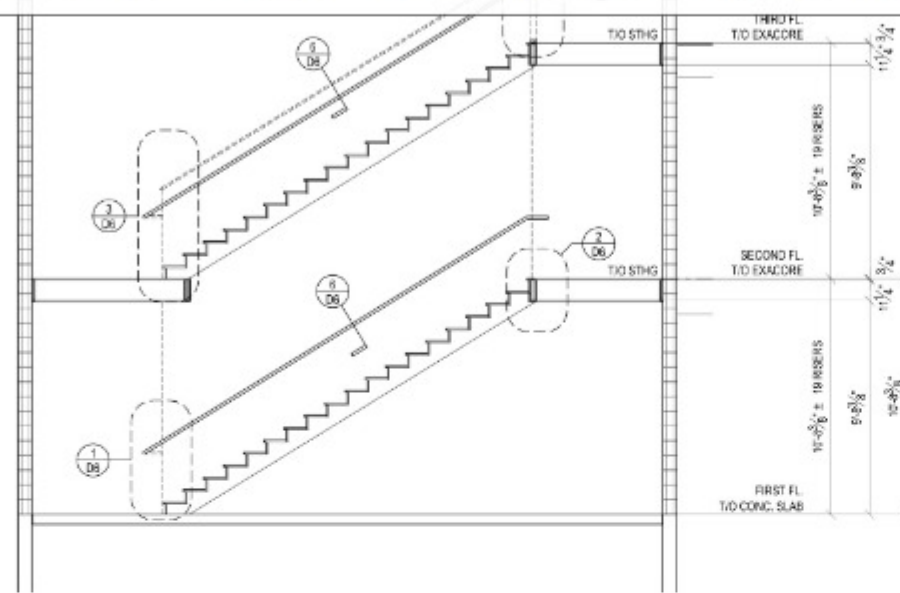
RIGHT SIDE ELEVATION

A4.6

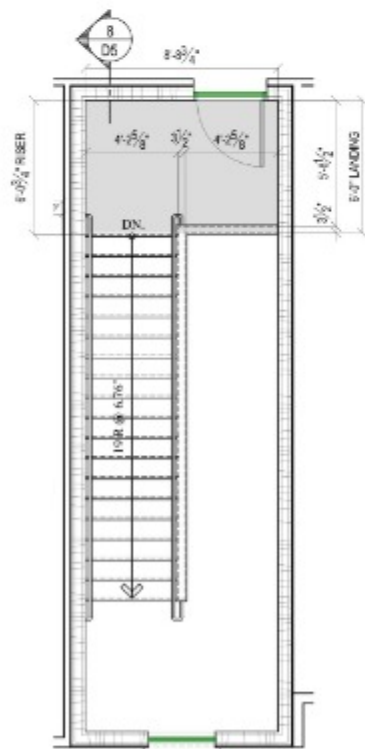
SCALE

1/8" = 1'-0"

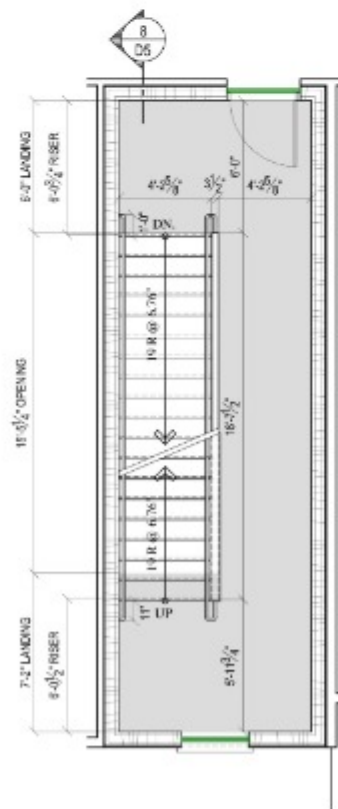
133.0 FT
26.6 FT
12.5 FT



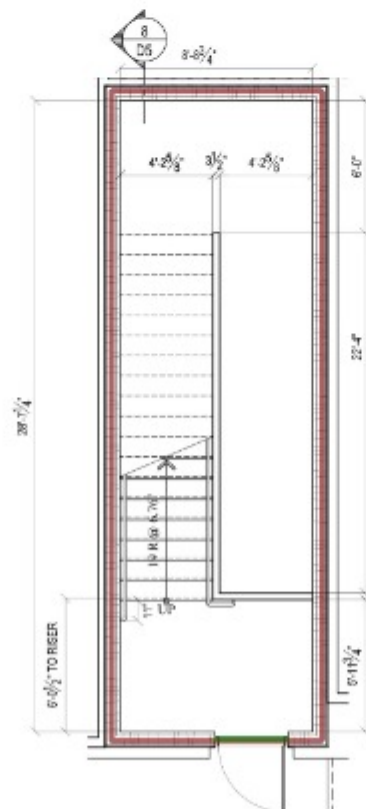
8 STAIR #1 SECTION
D5 SCALE: 1/4" = 1'-0"



7 THIRD FLOOR STAIR #1 PLAN
D5 SCALE: 1/4" = 1'-0"



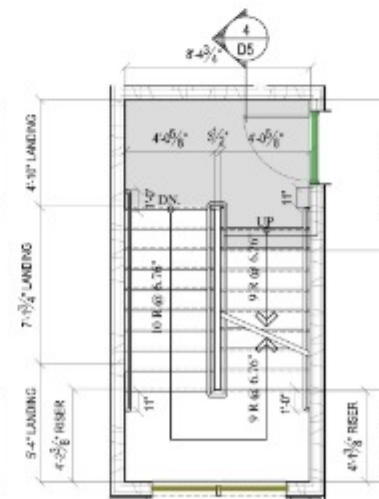
6 SECOND FLOOR STAIR #1 PLAN
D5 SCALE: 1/8" = 1'-0"



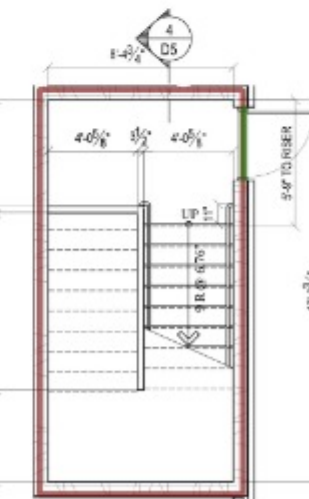
5 FIRST FLOOR - GRADE LEVEL STAIR #2 PLAN
D5 SCALE: 1/8" = 1'-0"



3 THIRD FLOOR STAIR #1 PLAN
D5 SCALE: 1/4" = 1'-0"

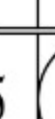


2 SECOND FLOOR STAIR #1 PLAN
D5 SCALE: 1/8" = 1'-0"



FIRST FLOOR - GRADE LEVEL STAIR #1 PLAN
SCALE: 1/8" = 1'-0"

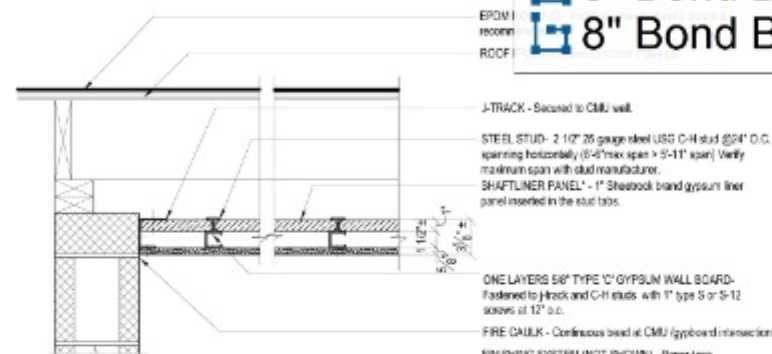
4 STAIR #1 SECTION
D5 SCALE: 1/4" = 1'-0"

REVISED <table border="1"> <tr> <th>No.</th> <th>DATE</th> </tr> <tr> <td>1</td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> </table>		No.	DATE	1											
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Building B	JOHN A. WICKO ARCHITECT L.L.C. 55 PROSPECT STREET, SUITE 200, CT 06603 (203) 476-2206														
Multi-family Residential 803 Boston Post Road Milford, Connecticut 06460 Prepared for: Minto Star Companies 44 River Street, Milford, CT 06460	WOOD STAIR DETAILS DATE: 8-17-2025 SCALE: AS SHOWN DRAWN: TCS CHECKED: JAW REV: 001 EOR, Building B														
D5															



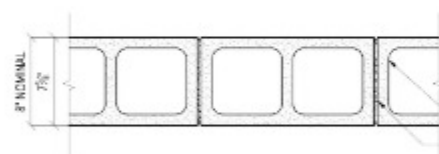
11 HOISTWAY BEAM BRACING DETAILS
SCALE: 1/2" = 1'-0"

8" Cmu Wall #5 Vert.Bar @ 32" O.C 34'H
8" Cmu Wall #5 Vert.Bar @ 32" O.C 14'H
8" Bond Beam 2#6 Cont Bar x4
8" Bond Beam 2#6 Cont Bar x4



USG Fire-Resistant Assembly ARL SA926
UL Design U906 or U907
STC RATING - 33
ASSEMBLY RATING - 1.0 HOUR

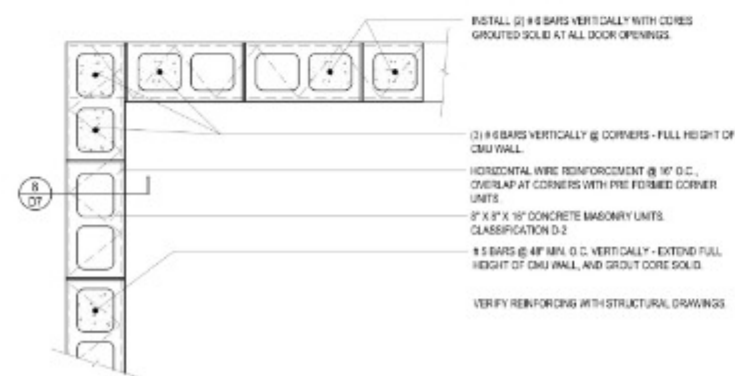
ONE HOUR RATED HORIZONTAL SHAFTWALL ASSEMBLY DETAIL
SCALE: 1/2" = 1'-0"



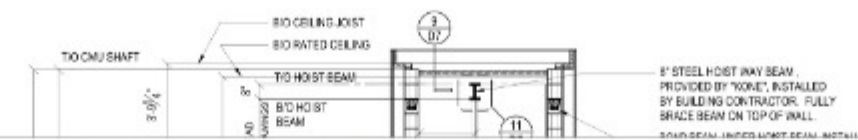
UL DESIGN NO. U906

BEARING WALL RATING - 2.0 HOUR (1 HOUR REQUIRED)
NON BEARING WALL RATING - 2.0 HOUR (1 HOUR REQUIRED)

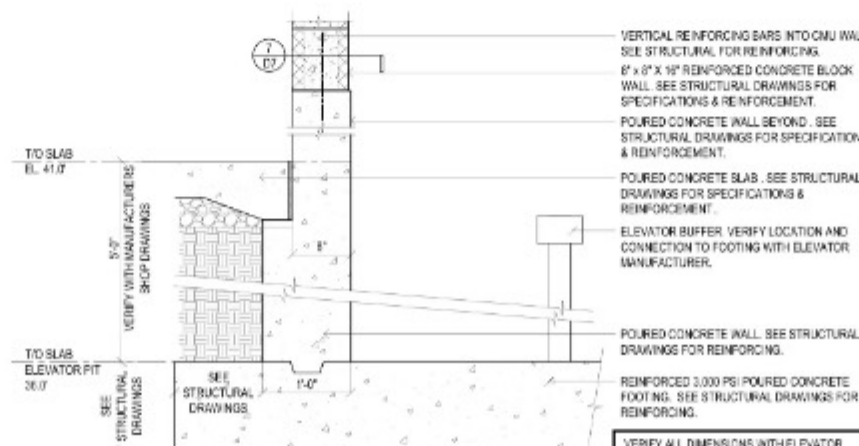
8 RATED SHAFT WALL CONSTRUCTION
SCALE: 1/2" = 1'-0"



7 ELEVATOR SHAFT CONSTRUCTION
SCALE: 1" = 1'-0"



6 ELEVATOR SECTION
SCALE: 1/2" = 1'-0"



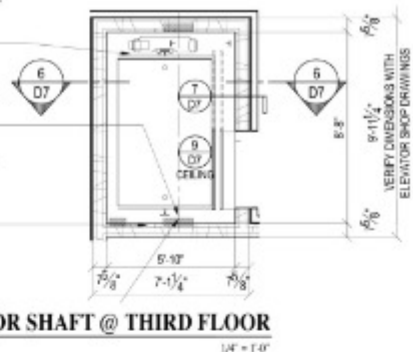
5 ELEVATOR PIT DETAIL
SCALE: 1" = 1'-0"

THREE STOP H.C. ACCESSIBLE ELEVATOR, COMPLYING WITH ICC A117.1 2017 SECTION 407. VERIFY DIMENSIONS WITH ELEVATOR SHOP DRAWINGS.

BRACKET INSERT LOCATION, TYPICAL. SUPPLIED BY "KONE". VERIFY LOCATIONS WITH SHOP DRAWINGS. INSTALL TO FULLY SOLID CMU UNIT.

ENTIRE FRONT WALL TO BE OPEN AT ALL LANDINGS UNTIL ELEVATOR EQUIPMENT IS INSTALLED.

21.6 FT
3.5 FT
21.6 FT
3.5 FT



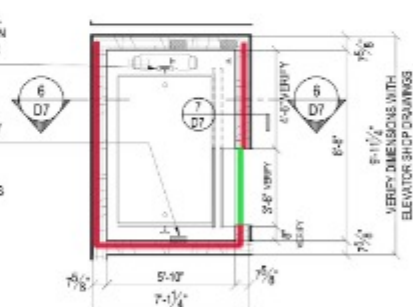
3 ELEVATOR SHAFT @ SECOND FLOOR
SCALE: 1/4" = 1'-0"

THREE STOP H.C. ACCESSIBLE ELEVATOR, COMPLYING WITH ICC A117.1 2017 SECTION 407. VERIFY DIMENSIONS WITH ELEVATOR SHOP DRAWINGS.

BRACKET INSERT LOCATION, TYPICAL. SUPPLIED BY "KONE". VERIFY LOCATIONS WITH SHOP DRAWINGS. INSTALL TO FULLY SOLID CMU UNIT.

ENTIRE FRONT WALL TO BE OPEN AT ALL LANDINGS UNTIL ELEVATOR EQUIPMENT IS INSTALLED.

21.6 FT
3.5 FT
21.6 FT
3.5 FT



2 ELEVATOR SHAFT @ FIRST FLOOR
SCALE: 1/4" = 1'-0"

WIRE DUCT, TERMINATE 48" ABOVE FIRST FLOOR LANDING. PIT LADDER POSITIONED DIRECTLY BELOW DUCT. VERIFY WITH ELEVATOR MANUFACTURER.

ELEVATOR PIT LADDER, INSERT PROVIDED BY KONE, INSTALLED BY MASON.

BUFFER LOCATION, VERIFY WITH ELEVATOR MANUFACTURER.

SUMP PIT WITH COVER LOCATION, VERIFY WITH OWNER AND ELEVATOR MANUFACTURER.

INSERTS PROVIDED BY KONE, INSTALLED BY MASON.

SUMP PUMP IS NOT TO BE INSTALLED SUMP PIT WITH COVER MAY BE INSTALLED. IF ELEVATOR PIT FLOODS, WATER IS TO BE CHECKED FOR CONTAMINANTS PRIOR TO PUMPING.

1 ELEVATOR PIT
SCALE: 1/4" = 1'-0"

ELEVATOR SPECIFICATION
"KONE" MONOSPACE 300 DX PASSENGER H.C. ACCESSIBLE ELEVATOR. COORDINATE & VERIFY SHAFT CONSTRUCTION, EMBEDMENTS, DIMENSIONS, DETAILS AND OTHER REQUIREMENTS WITH ELEVATOR MANUFACTURER SHOP DRAWINGS PRIOR TO START OF AND DURING CONSTRUCTION. PROVIDE SHOP DRAWINGS TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.

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Building B

ELEVATOR DETAILS
JOHN A. WICKO
ARCHITECT
L.L.C.
20 PROSPECT STREET, MILFORD, CT 06460-2001 (783) 470-0200

D7